

SITE DATA:

OWNER / APPLICANT	T&S BUILDERS, INC. 713 MAIN STREET PORT JEFFERSON, NY 11777
SCTM#	0200-241-11-48
TOTAL AREA	2.0 ACRES (87,120 SF)
PROPOSED BUILDING AREA	8,584 SF GFA (MEDICAL OFFICE)
EXISTING ZONING	A-1 RESIDENCE
PROPOSED ZONING	J-4 BUSINESS
SCHOOL DISTRICT	LONGWOOD CSD #12
FIRE DISTRICT	RIDGE
WATER DISTRICT	SCWA

SANITARY CALCULATIONS

PROPOSED USE CATEGORY	MEDICAL OFFICE
DESIGN FLOW CRITERIA	0.10 GPD/SF
OFFICE AREA	8,584 SF
TOTAL DESIGN FLOW	858.4 GPD
GROUNDWATER MGMT ZONE	III
ALLOWABLE DENSITY	300 GPD/ACRE
SITE AREA	2.0 ACRES
ALLOWABLE SITE DENSITY	600 GPD
PROPOSED SEWER DIST. CONNECTION	SCSD 20 - WILLIAM FLOYD (CONCEPTUAL APPROVAL FOR 1,260 GPD GRANTED 9/19/16)

PARKING CALCULATIONS:

PARKING CRITERIA	1 SPACE PER 150 SF GFA
BUILDING GFA	8,584 SF
REQUIRED PARKING	58 SPACES
PROPOSED PARKING	59 SPACES
PROPOSED ACCESSIBLE PARKING	8 SPACES

PINE BARRENS CALCULATIONS:

SITE CLASSIFICATION	COMPATIBLE GROWTH AREA (CGA)
ZONE CATEGORY (EXISTING)	RESIDENTIAL
ZONE CATEGORY (PROPOSED)	COMMERCIAL
TOTAL SITE AREA	2.0 ACRES
PINE BARRENS REQUIRED NATURAL AREA	47% (A-1 RES.) / 35% (COMM.)*
2.0 ACRES X 0.47 =	0.94 ACRES, OR 40,946 SF
EXISTING NATURAL AREA	58,040 SF (66.62%)
AREA TO REMAIN NATURAL	41,259 SF (47.36%)*
TOTAL CLEARED AREA	45,861 SF (52.64%)
PINE BARRENS MAX. FERTILIZER DEPENDENT AREA	15%
TOTAL FERTILIZER DEPENDENT AREA	6,315 SF (7.25%)

*PLAN COMPLIES WITH CLEARING LIMITS FOR BOTH EXISTING AND PROPOSED ZONING.

SITE PLAN NOTES

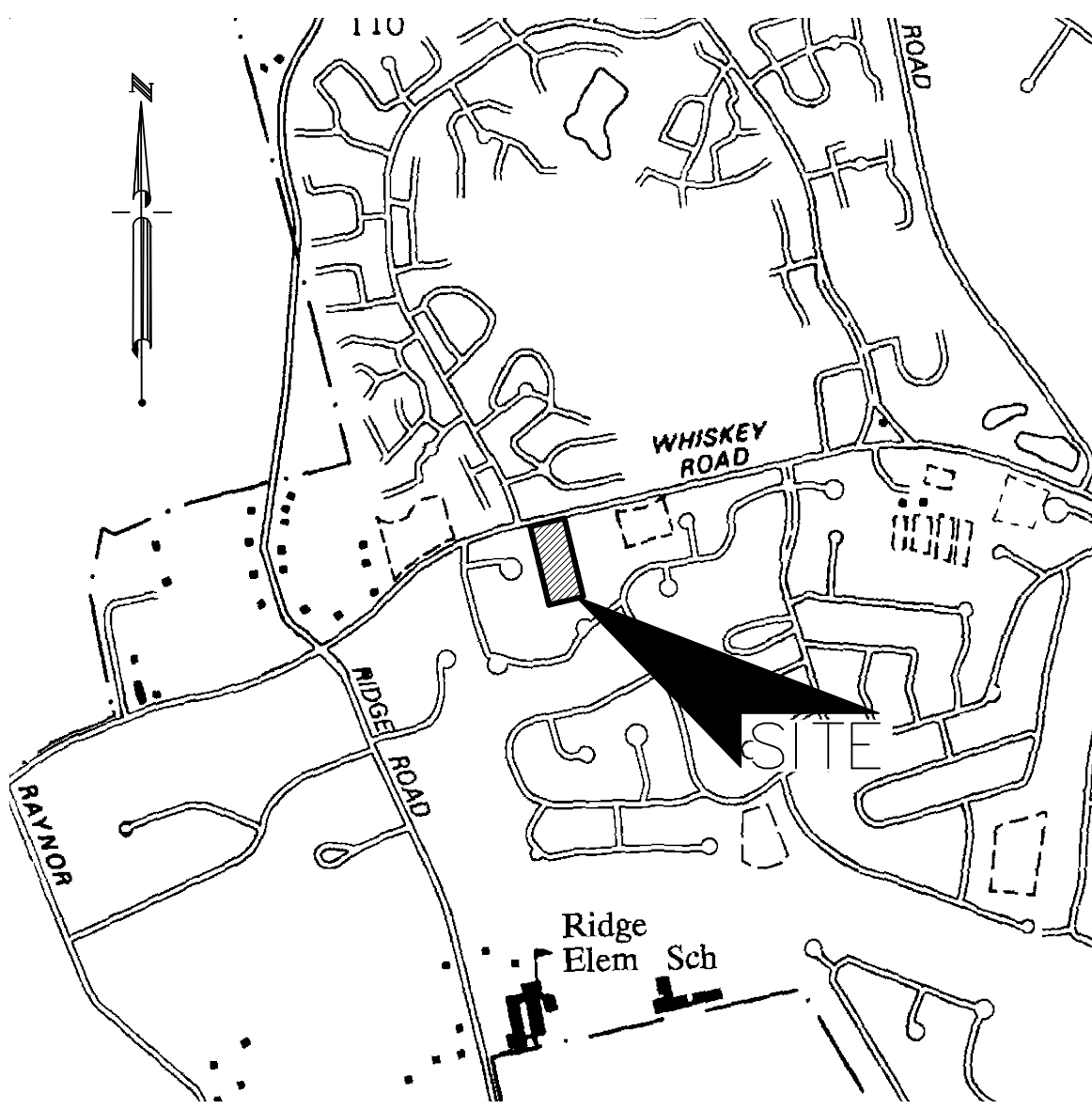
- ALL CONCRETE CURBING, SIDEWALKS, AND DRAINAGE STRUCTURES SHALL CONFORM TO THE PLANNING BOARD STANDARD DETAIL AND SPECIFICATIONS.
- TOWN OF BROOKHAVEN ENGINEERING INSPECTOR IN THE DEPARTMENT OF PLANNING, ENVIRONMENT, AND LAND MANAGEMENT SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF ALL CONSTRUCTION AT 631-451-6400 BETWEEN THE HOURS OF 9:00 A.M. - 4:30 P.M. MONDAY THROUGH FRIDAY.
- LOCATION AND GRADES FOR CURBS AND WALKS SHALL BE VERIFIED WITH THE TOWN OF BROOKHAVEN HIGHWAY DEPARTMENT, SCDPW, OR NYSDOT PRIOR TO CONSTRUCTION.
- ALL TRAFFIC CONTROL DEVICES (I.E. SIGNALS, SIGNS, AND PAVEMENT MARKINGS) SHALL BE INSTALLED IN ACCORDANCE WITH THE GUIDELINES OF THE NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND AS DIRECTED BY THE TOWN OF BROOKHAVEN, DIVISION OF TRAFFIC SAFETY.
- THE CONTRACTOR SHALL NOTIFY THE TOWN OF BROOKHAVEN DIVISION OF TRAFFIC SAFETY 48 HOURS IN ADVANCE OF BEGINNING SUCH WORK ALONG A TOWN ROAD.
- ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC, IN ACCORDANCE WITH SUFFOLK COUNTY SPECIFICATIONS, UNLESS OTHERWISE NOTED ON THE PLANS.
- STOP LINE OF SIGHT DISTANCES SHALL BE MAINTAINED AT ALL INTERSECTIONS IN ACCORDANCE WITH AASHTO REQUIREMENTS.
- RELOCATION OF EXISTING UTILITY POLES, TRAFFIC SIGNS, ETC SHALL BE COORDINATED BY THE CONTRACTOR.
- TEMPORARY CONSTRUCTION FENCING SHALL BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE TOWN OF BROOKHAVEN PRIOR TO ANY DISTURBANCE TO THE SITE.

SITE PLAN KEYNOTES

ITEM	
(LS)	LANDSCAPED AREA
(NT)	AREA TO REMAIN NATURAL
(DE)	DUMPSTER ENCLOSURE
(CW)	CONCRETE WALK
(CC)	CONCRETE CURB
(AP)	ASPHALT PAVEMENT, TYPICAL SECTION
(SF)	6" STOCKADE FENCE
(PR)	3' POST & RAIL FENCE (TO PROTECT NATURAL AREA)

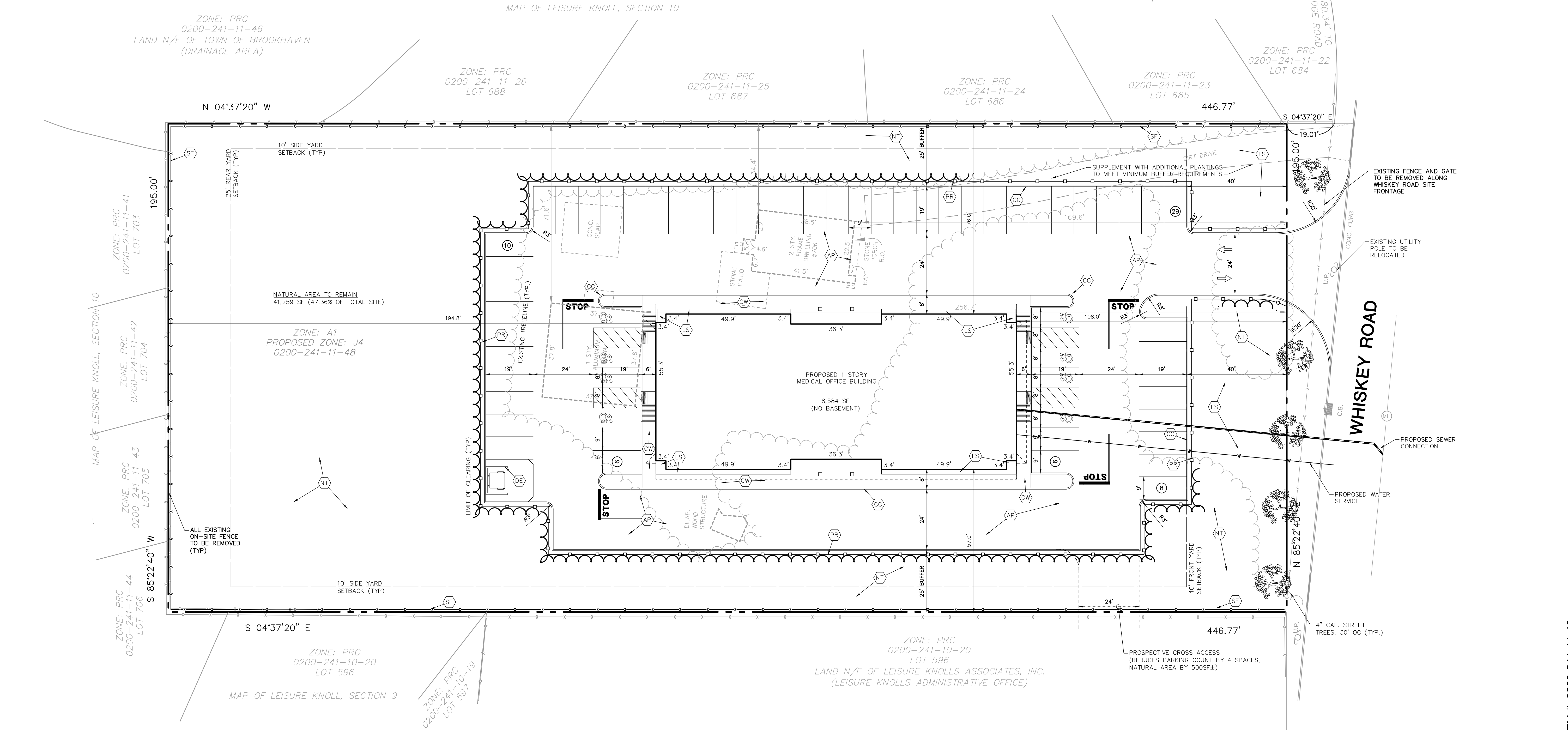
LEGEND:

	PROPOSED FEATURES
	EXISTING FEATURES
	SIGN
	PARKING STALL COUNT
	TRAFFIC DIRECTIONAL ARROW
	EXISTING SANITARY MANHOLE



ZONING TABLE

TOWN CODE	SECTION	DESCRIPTION	REQUIRED	EXISTING	PROPOSED	VARIANCE / WAWER REQUIRED
85-451-A.1		DIMENSIONAL CRITERIA:				
85-451-B.1		MINIMUM LOT AREA	10,000 SF	87,120 SF	87,120 SF	NO
85-451-C.1		MINIMUM ROAD FRONTAGE	75'	195'	195'	NO
85-451-D.1		MINIMUM FRONT YARD SETBACK	40'	169'6"	112'0"	NO
85-451-E.1		MINIMUM SIDE YARD SETBACK	10'	34'4"	57'0"	NO
85-451-F.1		MINIMUM REAR YARD SETBACK	25'	124'3"	198'8"	NO
85-451-G.1		MAXIMUM PERMITTED F.A.R.	25%	2.90%	9.62%	NO
85-451-H.1		MAXIMUM PERMITTED HEIGHT	35' or 2.5 STORIES	2 STORY	1 STORY	NO
85-61-A.6		LAND DEVELOPMENT REGULATIONS:				
85-843-A.1		TRANSITION SET. DISTRICTS (FENCE)	4'-6" STOCKADE	-	6" STK	NO
85-843-A.2		LANDSCAPED AREA	20%	-	53.0%	NO
85-843-A.3		1/2 REQ'D LANDSCAPING IN FRONT YARD	8,712 SF	-	10,880 SF	NO
85-843-A.4		STREET TREES	4" CAL. / 30' OC	NO	YES	NO
85-843-B.1		NATURAL AREALANDSCAPING ALONG STREET FRONTAGE	15'	169'6"	40'	NO
85-843-B.2		25' RESIDENTIAL BUFFER FOR COMMERCIAL USES	25'	-	25'	NO
85-852		PARKING REGULATIONS:				
85-852		OFFICE 1 SPACE / 150SF GFA	58	-	59	NO



NOTE: EXISTING CONDITIONS ARE BASED ON A SURVEY BY KENNETH H. BECKMAN, L.S. DATED 07/18/2016

WOM	05/04/18	03/06/17	02/02/17	11/30/16	11/02/16	BY	DATE
ONE STORY BUILDING CONCEPT	5	4	3	2	1	No.	
BUILDING REVISION							
BUILDING / PARKING REVISION							
BUILDING / PARKING REVISION							
PER TOWN COMMENTS							
DESCRIPTION							
REVISIONS							

Hayduk Engineering, LLC

1010 Route 112, Suite 310, Port Jefferson Station, NY 11776

Tel: (631)-476-0600 | Fax: (631)-476-0606

consulting engineers

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CONCEPTUAL SITE PLAN

FOR

WHISKEY ROAD MEDICAL OFFICE

LOCATED AT

RIDGE, TOWN OF BROOKHAVEN

SUFFOLK COUNTY, NEW YORK

SCTM # 0200-241-11-48

JOB No. N/A

DRAWN BY DJS

CHECKED BY SGH

DATE AUGUST 31, 2016

SCALE 1" = 20'

DWG. No. CP-1.0

SITE DATA:

OWNER / APPLICANT
T&S BUILDERS, INC.
713 MAIN STREET
PORT JEFFERSON, NY 11777

SCTM#
TOTAL AREA
PROPOSED BUILDING AREA
EXISTING ZONING
PROPOSED ZONING
SCHOOL DISTRICT
FIRE DISTRICT
WATER DISTRICT

0200-241-11-48
2.0 ACRES (87,120 SF)
8,584 SF GFA (MEDICAL OFFICE)
A-1 RESIDENCE
J-4 BUSINESS
LONGWOOD CSD #12
RIDGE
SCWA

SANITARY CALCULATIONS

PROPOSED USE CATEGORY	MEDICAL OFFICE
DESIGN FLOW CRITERIA	0.10 GPD/SF
OFFICE AREA	8,584 SF
TOTAL DESIGN FLOW	1,169.6 GPD
GROUNDWATER MGMT ZONE	III
ALLOWABLE DENSITY	300 GPD/ACRE
SITE AREA	2.0 ACRES
ALLOWABLE SITE DENSITY	600 GPD
PROPOSED SEWER DIST. CONNECTION	SCSD 20 - WILLIAM FLOYD (CONCEPTUAL APPROVAL FOR 1,260 GPD GRANTED 9/19/16)

PARKING CALCULATIONS:

PARKING CRITERIA	1 SPACE PER 150 SF GFA
BUILDING GFA	8,584 SF
REQUIRED PARKING	78 SPACES
PROPOSED PARKING	81 SPACES
PROPOSED ACCESSIBLE PARKING	8 SPACES

PINE BARRENS CALCULATIONS:

SITE CLASSIFICATION	COMPATIBLE GROWTH AREA (CGA)
ZONE CATEGORY (EXISTING)	RESIDENTIAL
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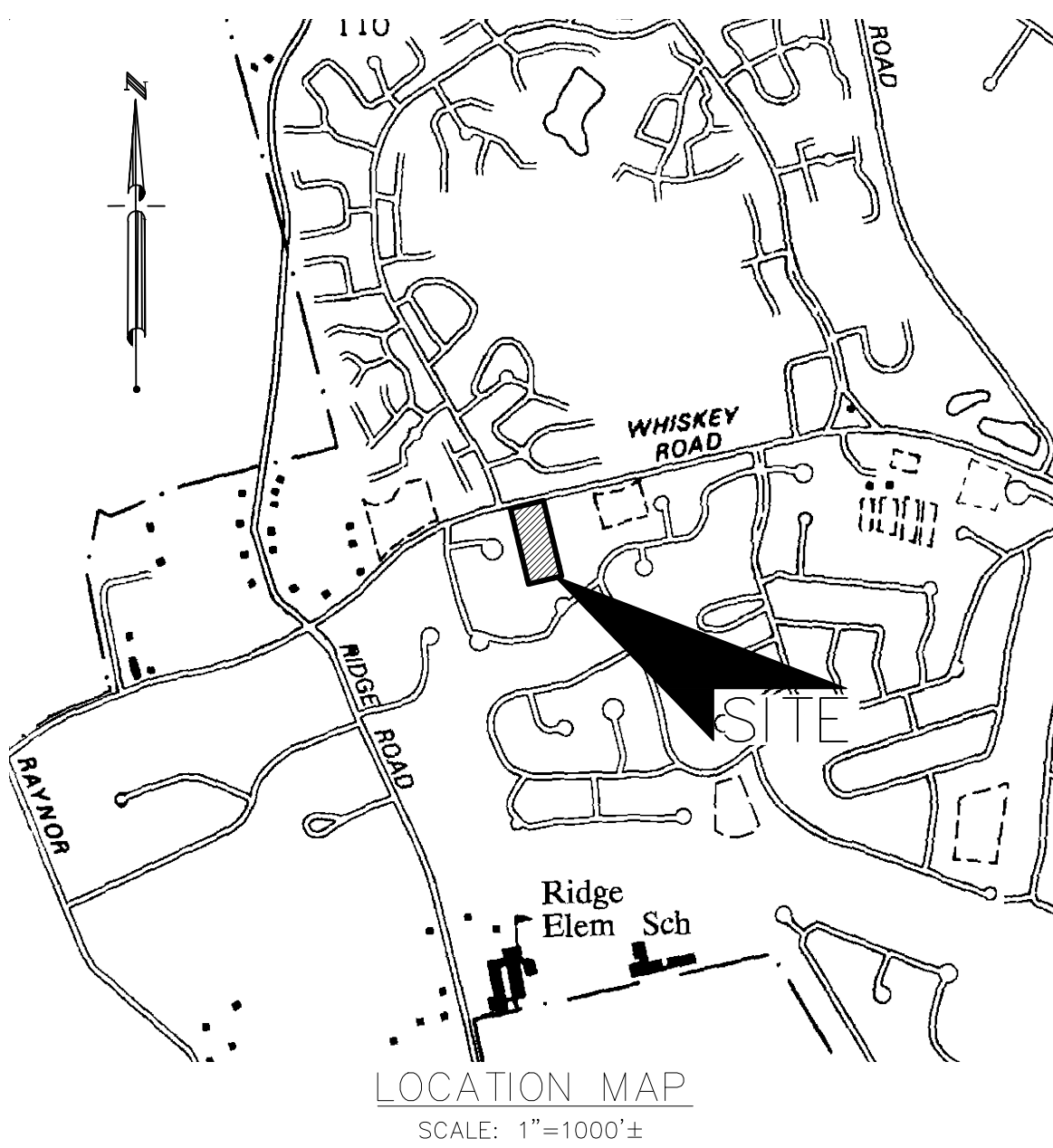
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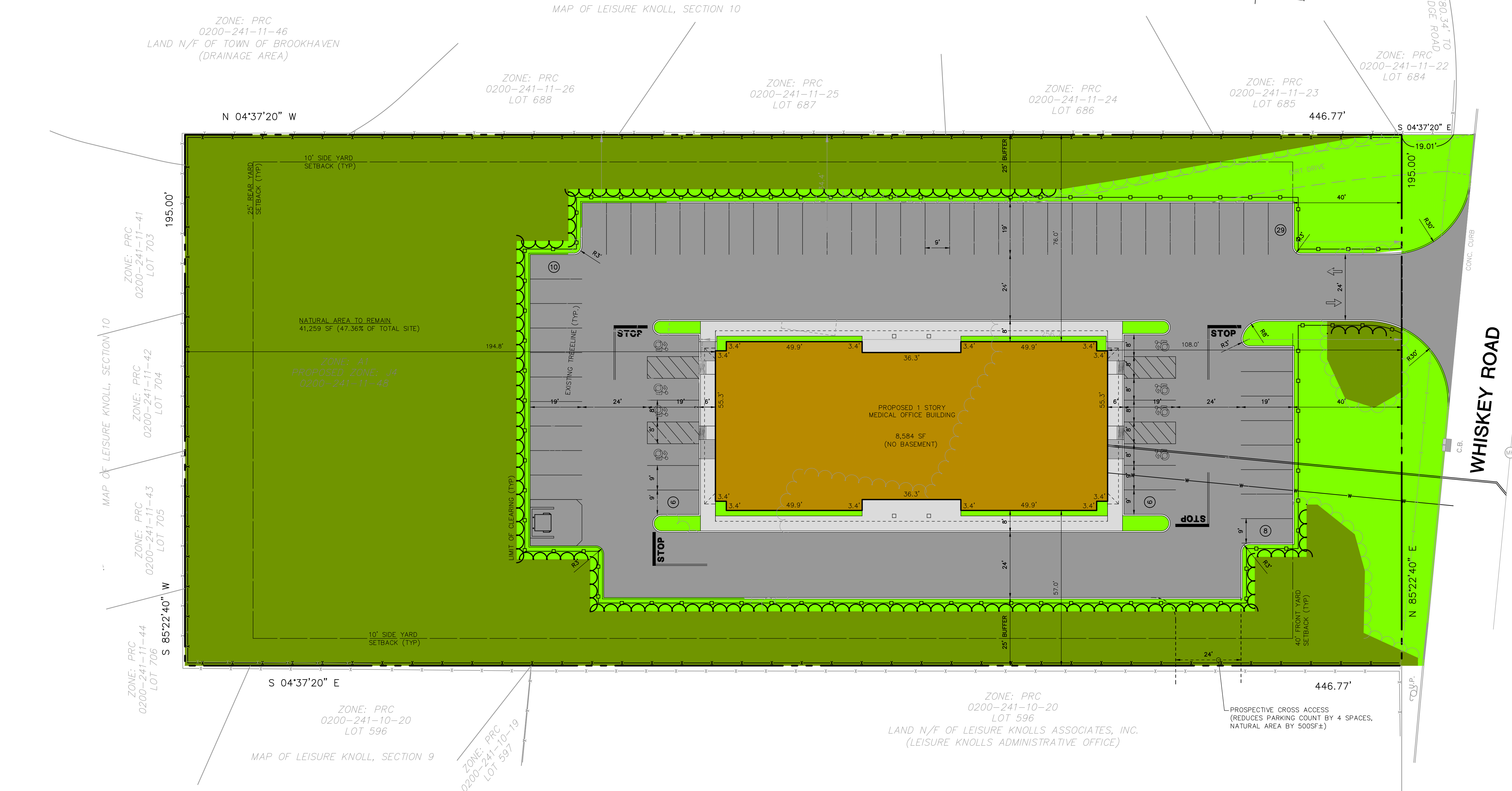
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	PROPOSED FEATURES
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	EXISTING SANITARY MANHOLE



ZONING TABLE

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J BUSINESS 4 DISTRICT					
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85-451-D.1	MINIMUM SIDE YARD SETBACK	10'	34.4'	57.0'	NO
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CONCEPTUAL SITE PLAN
FOR
WHISKEY ROAD MEDICAL OFFICE
LOCATED AT
RIDGE, TOWN OF BROOKHAVEN
SUFFOLK COUNTY, NEW YORK

JOB No.	N/A
DRAWN BY	DJS
CHECKED BY	SCB
DATE	AUGUST 31, 2016
SCALE	1" = 20'
DWG. No.	CP-1.0

NO.	DESCRIPTION	BY	DATE
5	ONE STORY BUILDING CONCEPT	WOM	05/04/18
4	BUILDING REVISION	WOM	03/06/17
3	BUILDING / PARKING REVISION	WOM	02/02/17
2	BUILDING / PARKING REVISION	WOM	11/29/16
1	PER TOWN COMMENTS	WOM	11/02/16

SCTM #: 0200-241-11-48



EAST AND WEST ELEVATIONS
SCALE: 3/16"=1'-0"



NORTH AND SOUTH ELEVATIONS
SCALE: 3/16"=1'-0"

NOTES:

- BUILDING LAYOUT / ELEVATIONS ARE CONCEPTUAL, A CHANGE OF ZONE FROM A1 TO J4 IS BEING SOUGHT.
- PROPOSED ARCHITECTURE IS INTENDED TO TO COMPLY WITH THE TOWN OF BROOKHAVEN ↓ BUSINESS DISTRICT DESIGN MANUAL (2010) GUIDELINES.
- PROPOSED BUILDING HEIGHT, SETBACKS, BUFFERS, F.A.R., ETC. WILL COMPLY WITH THE TOWN OF BROOKHAVEN J4 ZONING. NO VARIANCES ARE REQUESTED.

HE

consulting engineers

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CONCEPTUAL ELEVATIONS

FOR
WHISKEY ROAD MEDICAL OFFICE

LOCATED AT
RIDGE, TOWN OF BROOKHAVEN
SUFFOLK COUNTY, NEW YORK

JOB No.	N/A
DRAWN BY	WOM
CHECKED BY	SCH
DATE	MARCH 6, 2017
SCALE	AS NOTED
DWG. No.	EL-1.0

5	ONE STORY BUILDING CONCEPT	WOM	05/04/18
4	BUILDING REVISION	WOM	03/06/17
3	BUILDING / PARKING REVISION	WOM	02/02/17
2	BUILDING / PARKING REVISION	WOM	11/29/16
1	PER TOWN COMMENTS	WOM	11/02/16
No.	DESCRIPTION	BY	DATE
REVISIONS			

SCTM #: 0200-241-11-48